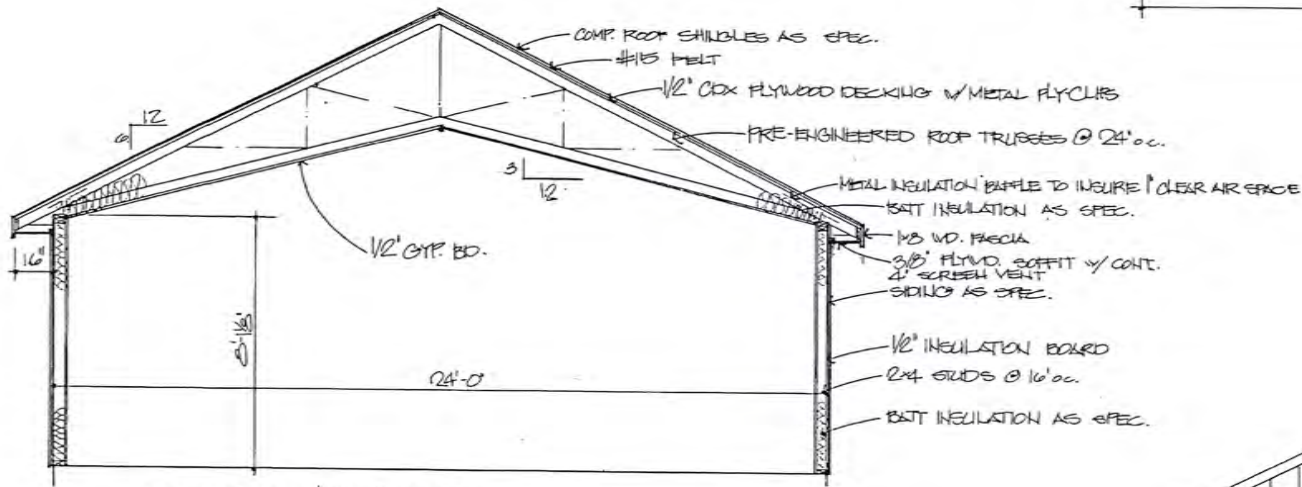
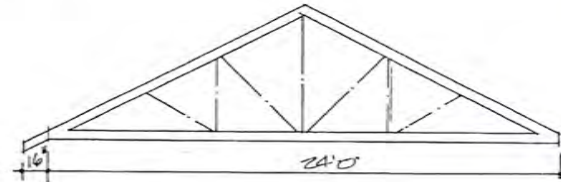
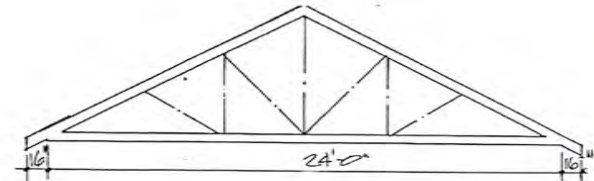
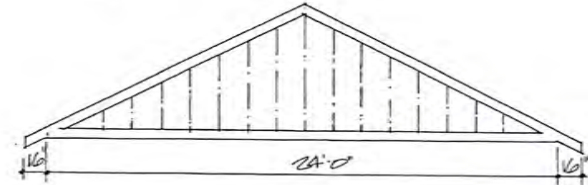
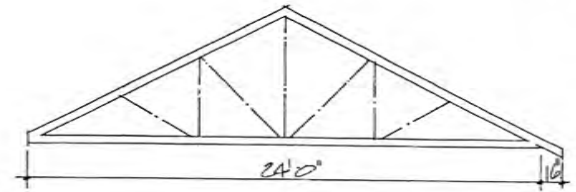


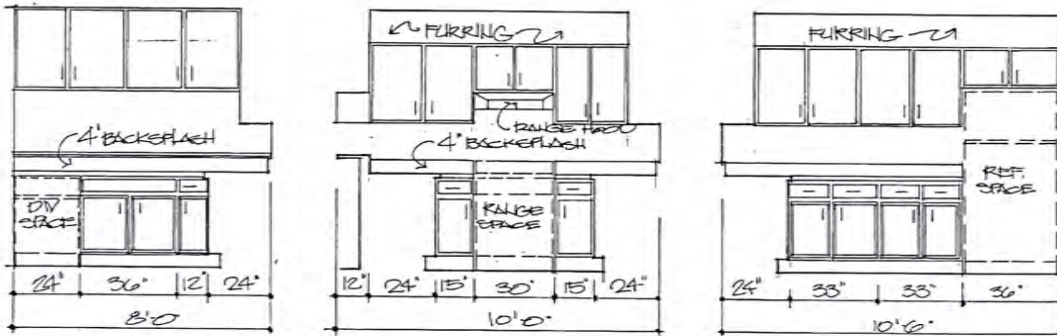
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SECTION THRU HOUSE
 sc: 3/8" = 1" 0"



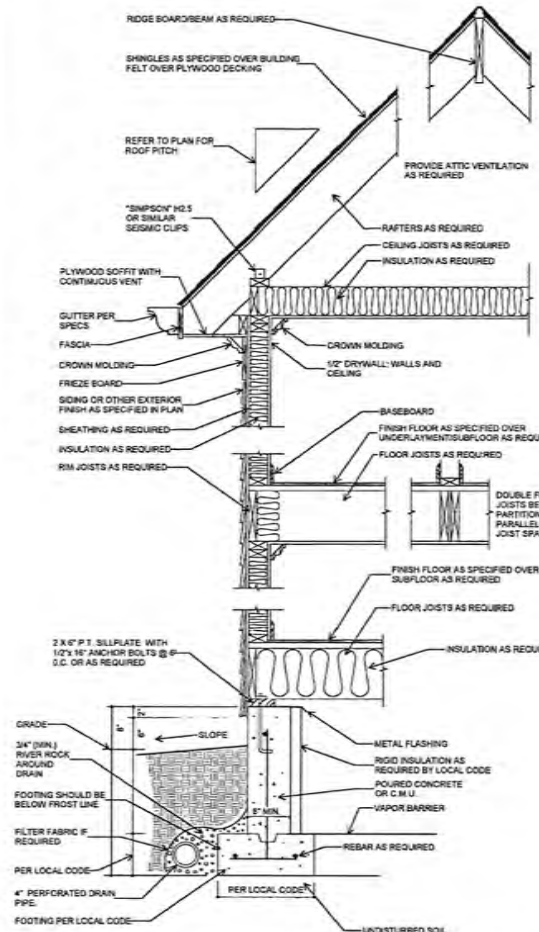
TRUSS LAYOUT
 sc: 1/4" = 1" 0"



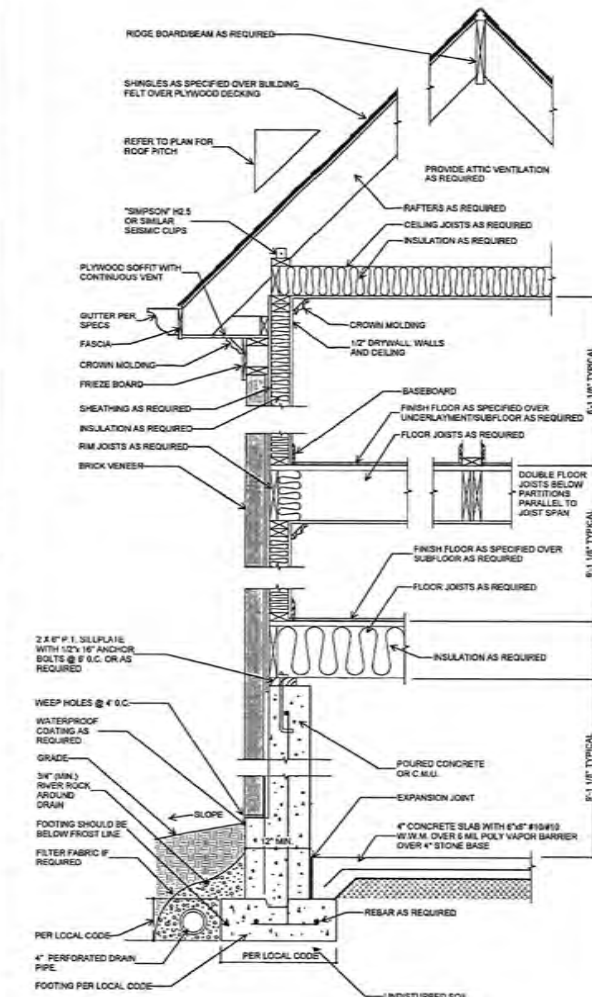
KITCHEN ELEVATIONS
 sc: 3/8" = 1" 0"

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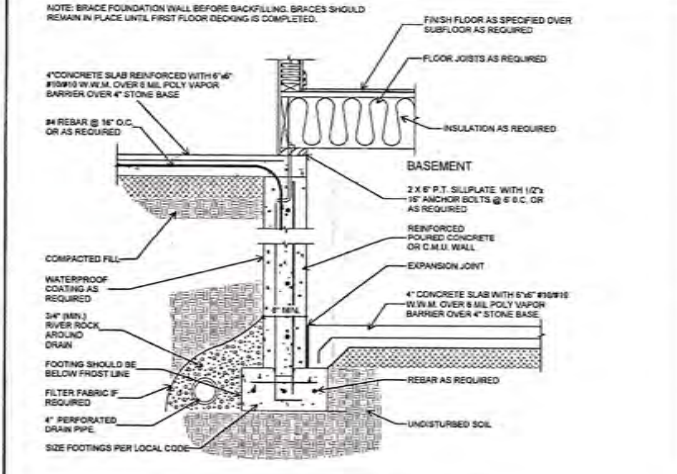
Note: Great care was taken in the creation of the design and engineering of these plans. However, the user assumes all responsibility for the construction of the project. The user is responsible for obtaining all necessary permits and for ensuring that the construction complies with all applicable codes and regulations. The user is also responsible for ensuring that the construction is completed in a timely and safe manner. The user is not to be held liable for any damages, including but not limited to, property damage, personal injury, or death, resulting from the construction of the project. These home plans are provided as a guide only and are not to be used as a substitute for professional engineering or architectural services. The user is advised to consult with a professional engineer or architect before construction.



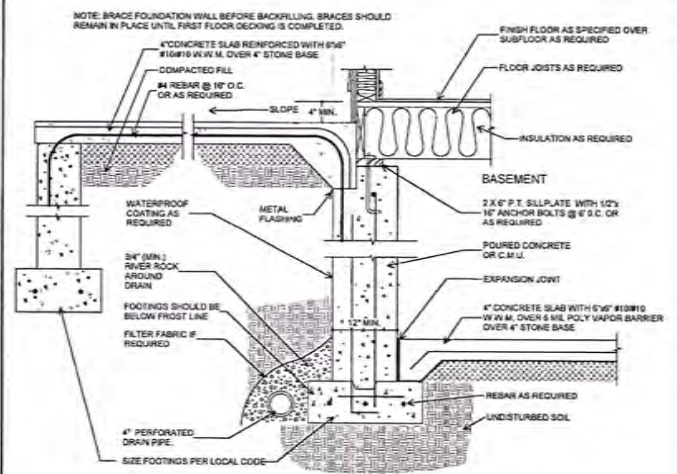
TYPICAL WALL SECTION
(3/4"=1') SIDING OR SIMILAR EXTERIOR FINISH TWO STORY ON CRAWL SPACE



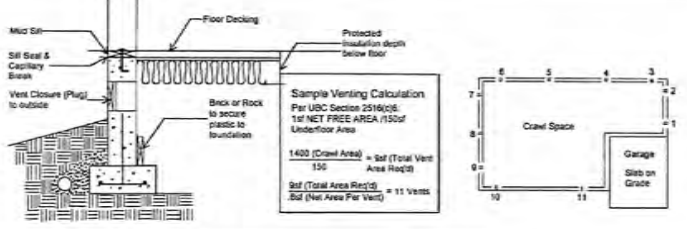
TYPICAL WALL SECTION
(3/4"=1') BRICK TWO STORY ON BASEMENT



GARAGE WALL SECTION
(3/4"=1')



PORCH/SLOOP WALL SECTION
(3/4"=1')



CRAWL SPACE VENTILATION

FRAMING NOTES

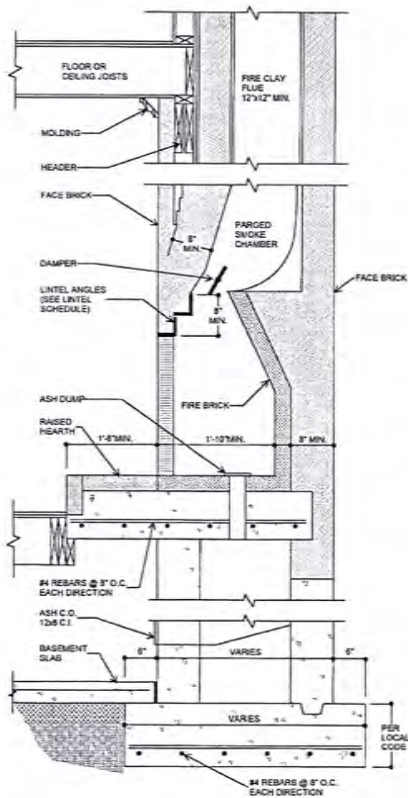
- ALL EXTERIOR WALL OPENINGS & BEARING WALL OPENINGS TO HAVE 4x12 HEADERS UNLESS OTHERWISE INDICATED.
- JOISTS THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIV.
- PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS OVER PROVIDED FIREBLOCKING, DRAFTSTOPS & FIRESTOPS AS PER THE U.B.C. SEC. 2516F.
- LUMBER SPECIES:
 - A. POST, BEAMS, HEADERS, JOISTS & RAFTERS. NO 2 DOUGLAS FIR.
 - B. SILLS, PLATES, BLOCKING, BRIDGING ETC. NO. 3 DOUGLAS FIR.
 - C. STUDS. UTILITY GRADE D.F.
 - D. POST & BEAM DECKING. UTILITY GRADE D.F.
 - E. FLYWOOD SHEATHING. 1" CDX PLYWOOD, 3216
 - F. GULI-UM BEAMS. P-243C, DRY ADH.

5. NAIL SCHEDULE:

JOIST TO SILL OR GIRDER BRIDGING TO JOIST	3-6d	TOE NAIL
2" SUBFLOOR TO GIRDER SOLE PLATE TO JOIST	2-6d	BLIND NAIL
TOP PLATE TO STUD	2-16d	FACE NAIL
STUD TO BOLE PLATE	4-6d	END NAIL
DOUBLE STUDS	2-16d	TOE NAIL OR
DOUBLE TOP PLATE	15d @ 18"	FACE NAIL
CONTINUOUS HEADER (2 PC)	15d @ 18"	FACE NAIL
CLD. JOIST TO PL.	15d @ 18"	TOE NAIL
CLG. JOIST TO RAFTER	3-16d	FACE NAIL
CLG. JOIST TO TOP PL.	3-16d	FACE NAIL
BUILD-UP CORNER STUDS	3-6d	TOE NAIL
PLYWOOD SUBFLOOR	16d @ 24"	EDGE NAIL
PLYWOOD & ROOF SHEATHING	8d @ 12"	EDGE NAIL
TOP PL. AT INTERSECTIONS	8d @ 12"	EDGE NAIL
MULTIPLE JOISTS (UP TO 3)	16d @ 15"	INTERIOR
MULTIPLE JOISTS (OVER 3)	16d @ 15"	FACE NAIL
1X8 SPACED SHEATHING	2-16d	FACE NAIL
	16d @ 15"	STAGGER NAIL
	16d @ 15"	INTERIOR
	2-16d	FACE NAIL
	16d @ 15"	FACE NAIL
	16d @ 15"	FACE NAIL
	2-6d	FACE NAIL

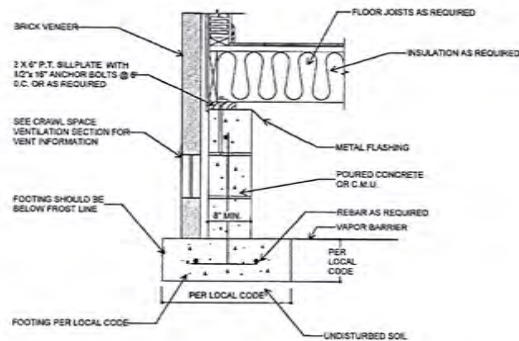
Please Note: These Construction Details are provided as a service to Atlanta Plan Source, Inc. customers. The information shown is based on The Standard Building Code, Uniform Building Code, and CABO One and Two Family Dwelling Code, and represents typical construction practices in Atlanta, Georgia USA. Special engineering may require that these plans be changed to comply with seismic, wind, or other special conditions as required by local codes. It is recommended that you consult a local architect or engineer of your choice and that you check with local building officials prior to the start of actual construction. It is the responsibility of the Contractor to make the necessary modifications to ensure code compliance and structural integrity. In any instance, the maximum liability of Atlanta Plan Source, Inc. shall be a refund of the purchase price of the home plans. COPYRIGHT © 1998 BY ATLANTA PLAN SOURCE, INC.

DETAIL SHEET B

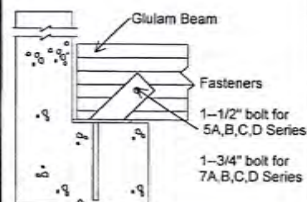


TYPICAL FIREPLACE SECTION

(3/4"=1')

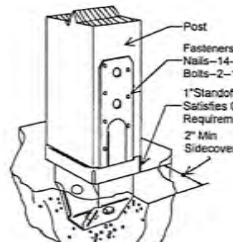


CRAWL SPACE DETAIL



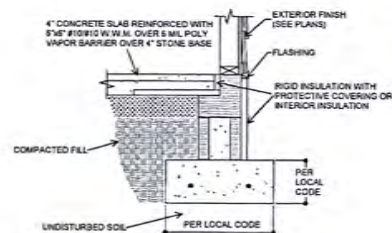
TYPICAL BEAM SEAT

SIMPSON GLB

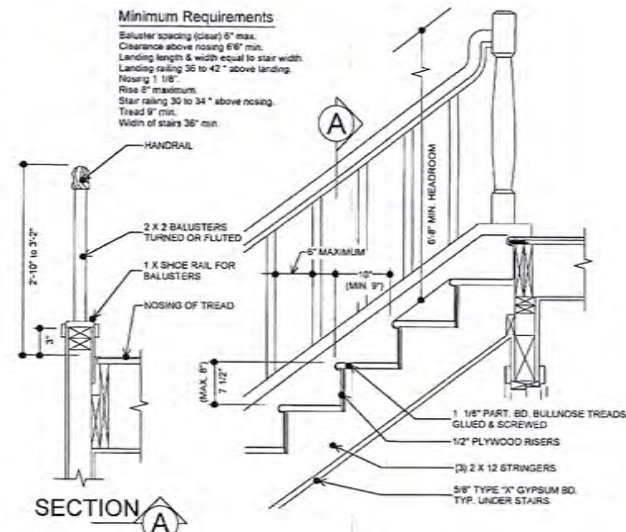


POST BASE

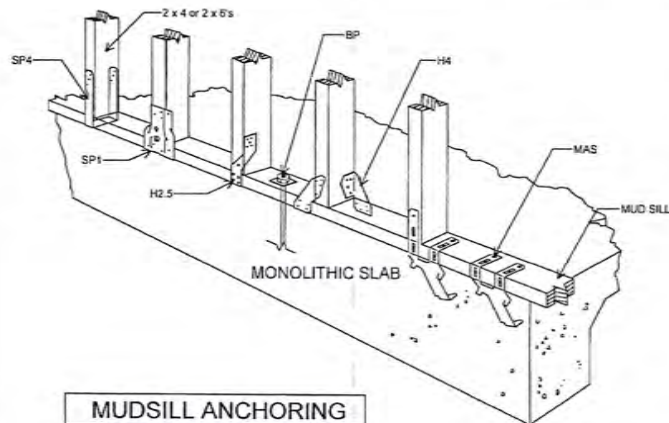
SIMPSON PBS44



SLAB FOUNDATION DETAIL

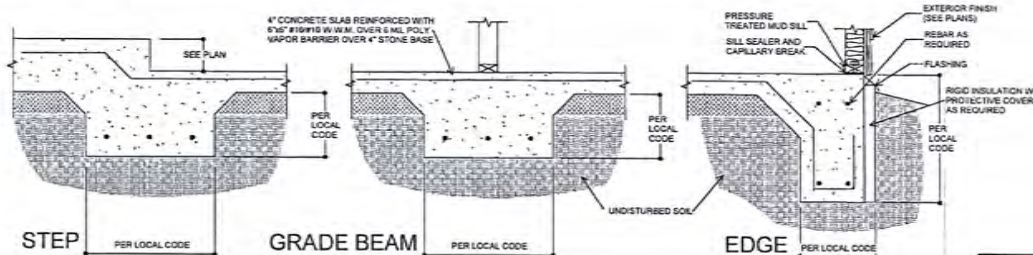


STAIR DETAIL



MUDSILL ANCHORING

SIMPSON "STRONG-TIES"



MONOLITHIC SLAB ON GRADE DETAIL

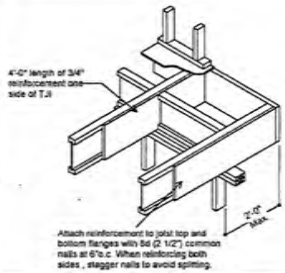
DETAIL SHEET C

STEEL LINTELS FOR MASONRY

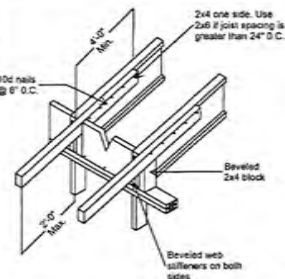
CLEAR SPAN	NO FLOOR LOADS	
	4" BRICK VENEER	6" STONE VENEER
4'OR <	3 1/2 x 3 1/2 x 5/16	3 1/2 x 5 x 5/16
5'	3 1/2 x 3 1/2 x 5/16	3 1/2 x 5 x 5/16
6'	4 x 3 1/2 x 5/16	5 x 5 x 5/16
7'	4 x 3 1/2 x 5/16	5 x 5 x 5/16
8'	5 x 3 1/2 x 5/16	5 x 5 x 5/16
9'	5 x 3 1/2 x 3/8	5 x 5 x 3/8
10'	6 x 3 1/2 x 3/8	5 x 5 x 1/2

Minimum Requirements

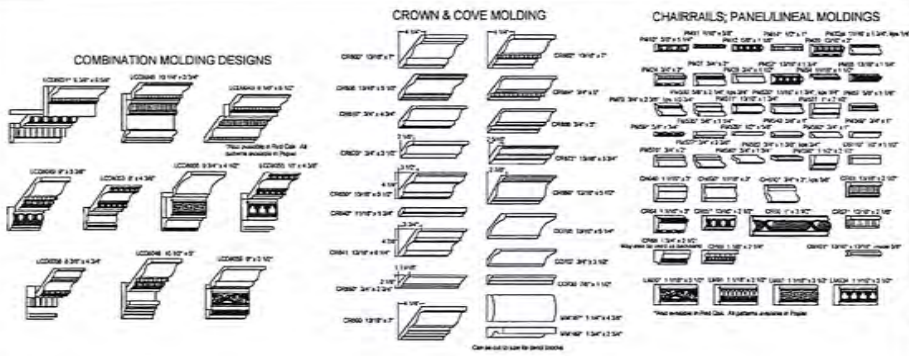
Baluster spacing (clear) 6" max.
 Clearance above nosing 6 1/2" min.
 Landing length & width equal to stair width.
 Landing railing 36 to 42" above landing.
 Nosing 1" min.
 Rise 5" maximum.
 Star railing 30 to 34" above nosing.
 Tread 9" min.
 Width of stairs 36" min.



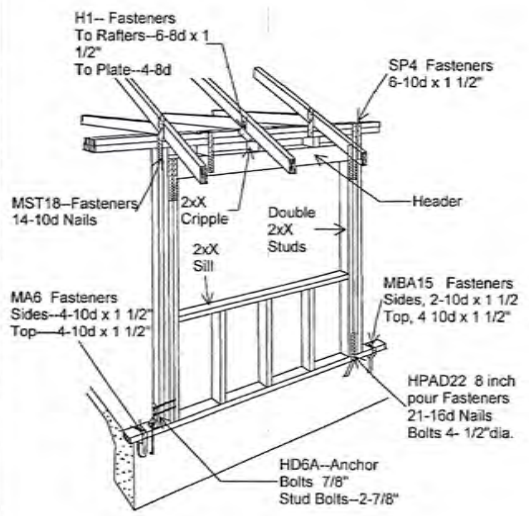
TJI CANTILEVER DETAILS



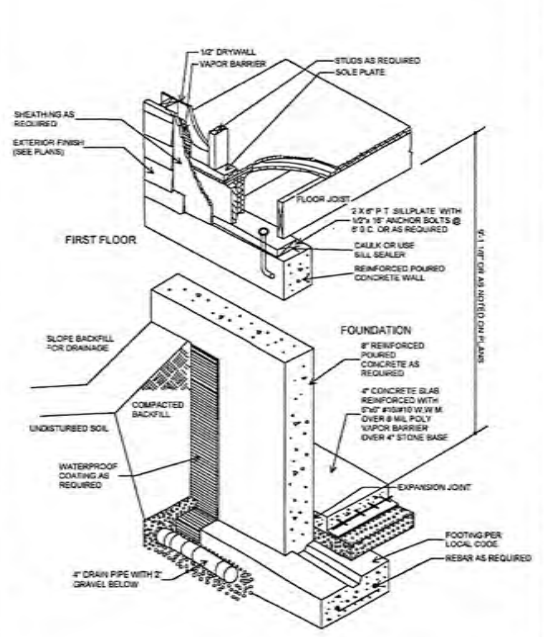
TJI RAFTER DETAILS



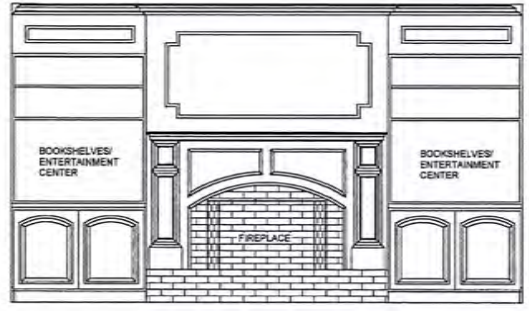
MOLDINGS
WHITE RIVER HARDWOODS



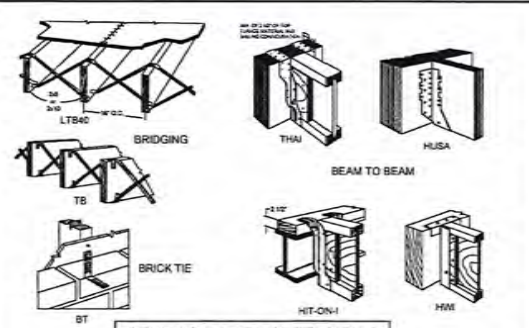
HEADER & RAFTER TIES
SIMPSON "STRONG-TIES"



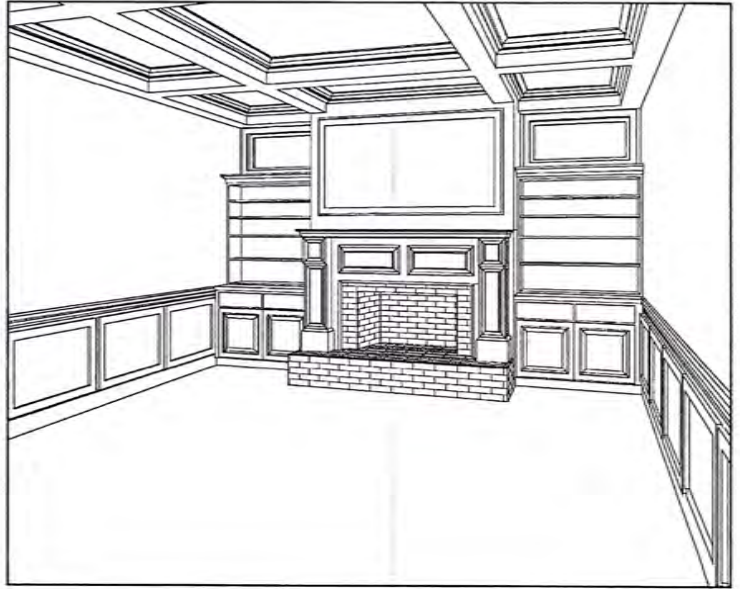
TYPICAL FRAME WALL SECTION



TYPICAL INTERIOR ELEVATION



TYPICAL FASTENERS
SIMPSON "STRONG-TIES"



TYPICAL INTERIOR VIEW

DETAIL SHEET D

GENERAL NOTES

- 1. BIDDER:**
ALL CONTRACTORS BIDDING THIS PROJECT SHALL BE GIVEN THE SAME NUMBER OF SETS OF PRINTS. ALL CONTRACTORS AND SUBCONTRACTORS WISHING TO BE CONSIDERED FOR THIS WORK WILL BE REQUIRED TO INSPECT THE SITE PRIOR TO SUBMITTAL OF BIDS. NO BIDS WILL BE ACCEPTED WITHOUT SITE VISITATION.
LOWEST BIDDER SHALL BE SELECTED ON LOWEST BASE BID.
ONLY BIDS WITHOUT EXCLUSIONS WILL BE ACCEPTED. BID PROPOSAL SHALL BE SUBMITTED IN A SEALED ENVELOPE.
- 2. BONDS:**
NO PERFORMANCE BOND REQUIRED.
- 3. CODES:**
THE WORK OF ALL TRADES SHALL MEET APPLICABLE CODES. IF CHANGES IN THE DRAWINGS ARE REQUIRED TO MEET CODE THESE CHANGES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO SUBMISSION OF BIDS. IF SUCH CHANGES ARE NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING AS OUTLINED ABOVE, CONTRACTOR SHALL BEAR THE COST OF ANY SUCH CHANGES DURING CONSTRUCTION.
- 4. CONTRACT:**
AIA DOCUMENT A101 "STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR" STIPULATED SUM WILL BE USED.
- 5. PERMITS & INSPECTIONS:**
CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND INSPECTIONS.
- 6. SITING WORK:**
VERIFY ACCESS TO THE SITE WITH OWNER. DISPOSE OF EXCESS SOIL OFF SITE.
CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING. YARD SHALL BE GRADED SO THAT IT IS COMPATIBLE WITH ADJACENT PROPERTIES SHALL FLOW AWAY FROM DWELLING.
CONTRACTOR SHALL PROTECT TREES AND VEGETATION TO REMAIN, SOO FRONT AND SIDE YARDS AND SEAR YARD.
- 7. DEMOLITION:**
CONTRACTOR SHALL REMOVE TREES AND VEGETATION AS INDICATED ON SITE PLAN.
CONTRACTOR SHALL REMOVE PATIO, RETAINING WALLS, SIDEWALKS, AND DRIVEWAY AS REQUIRED.
CONTRACTOR SHALL DISPOSE OF RUBBLE OFF SITE.
- 8. CONSTRUCTION NOTES:**
PROVIDE PORTABLE TOILET AT JOB SITE FOR DURATION OF CONSTRUCTION.
HOUSE SHALL BE SECURED AT ALL TIMES DURING CONSTRUCTION AND INTERIOR AREAS PROTECTED FROM WEATHER.
- 9. CLEAN-UP:**
CONTRACTOR SHALL BE RESPONSIBLE FOR WEEKLY TRASH REMOVAL.
CONTRACTOR SHALL KEEP ALL AREAS "BROOM CLEAN" DURING CONSTRUCTION.
CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP AT COMPLETION. CLEANING SHALL BE BY A PROFESSIONAL CLEANING CREW. CLEANUP SHALL INCLUDE WINDOWS, MIRRORS, TILE, FLOORS, VACUUMING AND DUSTING IN ALL AREAS.
- 10. FINAL PAYMENT:**
CONTRACTOR SHALL SUBMIT LIEN WAIVERS FOR MATERIALS AND SUBCONTRACTORS WITH MONTHLY PAY REQUESTS. APPLICATION FOR FINAL PAYMENT SHALL INCLUDE SOIL POISONING CERTIFICATE, AND ALL APPLICABLE WARRANTIES.
- 11. GENERAL NOTES:**
ALL MATERIALS SPECIFIED OR CALLED OUT SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS AUTHORIZED BY THE OWNER. DIMENSIONS ARE TO FACE OF MASONRY SHEATHING, GWB OR OTHER POINTS AS SHOWN.
CONTRACTOR SHALL COORDINATE ALL TRADES. THE FOLLOWING LISTING IS FOR YOUR INFORMATION:
- 12. JOB SITE:**
GENERAL CONTRACTOR TO MAINTAIN AN UPDATED SET OF DRAWINGS AT THE JOB SITE AVAILABLE AT ALL TIMES.
- 13. CHANGE ORDERS:**
ALL CHANGES RESULTING IN AN INCREASE IN COST DURING CONSTRUCTION MUST BE SUBMITTED TO THE OWNER IN WRITING AND APPROVED BY THE OWNER BEFORE SUCH WORK SHALL COMMENCE.
- 14. DISCREPANCIES:**
BETWEEN SPECIFICATIONS AND DRAWINGS, SPECIFICATIONS SHALL GOVERN.
BETWEEN DIMENSIONS AND DRAWINGS AS SCALED, DIMENSIONS SHALL GOVERN. DO NOT SCALE OFF DRAWINGS.
BETWEEN CODES AND DRAWINGS, CODES SHALL GOVERN.

MATERIALS

- 1. FOOTINGS:**
ALL CONCRETE WORK SHALL BE INSTALLED AS PER GUIDELINES OF AMERICAN CONCRETE INSTITUTE. POUR WITH 2500# SAND/GRAVEL MIX. PROVIDE STEEL REINFORCING AS REQUIRED.
TOP OF FOOTINGS SHALL BE A MINIMUM OF 3'-6" BELOW FINISH GRADE.
ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL. FOOTINGS AND FOUNDATION DESIGNED FOR TYPICAL SOIL CONDITIONS PREVAILING IN THE OMAHA AREA. UNUSUAL CONDITIONS ENCOUNTERED DURING EXCAVATION SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER. THE OWNER SHALL COMPENSATE CONTRACTOR IF ADDITIONAL EXPENSE IS INCURRED.
- 2. FOUNDATION WALLS:**
ALL CONCRETE WORK SHALL BE INSTALLED AS PER GUIDELINES OF AMERICAN CONCRETE INSTITUTE. POUR WITH 3000# SAND/GRAVEL MIX. PROVIDE STEEL REINFORCING AS REQUIRED.
POURED CONCRETE FOUNDATION WALLS SHALL BE EITHER 8" OR 10" THICK AS INDICATED ON FOUNDATION PLAN.
FORM BRICK LEDGES AS REQUIRED TO ALLOW MINIMUM OF THREE COURSES (8"). FACE BRICK BELOW FINISH GRADE.
PROVIDE 1" BLUEBOARD INSULATION (R=5) AT INSIDE OF GARAGE FOUNDATION WALL PRIOR TO BACKFILLING. PROVIDE 1/2"x7" ANCHOR BOLTS AT CONCRETE WALLS AS PER CODE. SPACING TO MATCH VERT. REINFORCING OR 72" O.C. MAX. 12" MAX. FROM CORNERS.
CONTRACTOR SHALL PROVIDE CERTIFIED SOIL POISONING. POISON TO BE IN BACKFILL. CERTIFICATE FOR SOIL POISONING SHALL BE SUBMITTED TO OWNER WITH CONTRACTOR'S REQUEST FOR FINAL PAYMENT. NO FINAL PAYMENT WILL BE ISSUED WITHOUT SOIL POISONING CERTIFICATE.
- 3. MASONRY:**
ALL MASONRY SHALL COMPLY WITH RECOMMENDATIONS OF NEBRASKA CONCRETE MASONRY ASSOCIATION. INFILL PORTIONS OF FOUNDATION WALL, AS INDICATED ON DRAWINGS, SHALL BE OF 8"x8"x15" TWO CELL CONCRETE MASONRY UNITS. GRAB IN LOADBEARING. TYPE 1 MORTAR FOR CEMENT BLOCK SHALL CONSIST OF ONE PART PORTLAND CEMENT BY VOLUME, 1/4 PART HYDRATED LIM, 3 3/4 PARTS OF DAMP LOOSE SAND PLUS WATER RATED AT 2500 PSI IN 28 DAYS. FILL ALL WALL CAVITIES AND VOIDS BELOW FLASHING AND WEEP HOLES SOLID WITH MORTAR/GROUT BEFORE INSTALLING FLASHING. PROVIDE FLASHING AS REQUIRED AT BRICK LEDGE TO EXTEND WATERPROOFING UP THE WALL A MINIMUM OF 8" ABOVE FINISH GRADE. PROVIDE WEEP HOLES AS REQUIRED.
PROVIDE STEEL REINFORCING DOWELS, PINS, AND BRICK WALL TIES AS REQUIRED. FASTEN WALL TIES DIRECTLY TO STUDS, NOT SHEATHING.
PROVIDE 1/2"x15" ANCHOR BOLTS AT MASONRY WALLS AS PER CODE. SPACING TO MATCH VERT. REINFORCING OR 72" MAX. 12" MAX FROM CORNERS.
- 4. DAMPPROOFING:**
PACK PLASTER AND TAR TO GRADE. PROVIDE 4" DIAMETER POLYETHYLENE BY ADS OR EQUAL DRAIN TILE TO DAYLIGHT OR SUMP PIT AT ALL FOOTINGS.
- 5. CONCRETE FLAT WORK:**
ALL CONCRETE WORK SHALL BE INSTALLED AS PER GUIDELINES OF AMERICAN CONCRETE INSTITUTE. S&G CONCRETE CONSISTING OF SAND, GRAVEL, AND 6 SACKS CEMENT PER CUBIC YARD RATED AT 3000 PSI IN 28 DAYS. COMPACTED FILL WHERE FILL IS REQUIRED.
BASEMENT FLOORS: POURED 4" THICK, SMOOTH AND DENSE FINISH. PROVIDE 4" SAND FILL WITH VAPOR BARRIER UNDER SLAB SEAL WITH APPROVED SEALER. GARAGE FLOORS: 1/8" PITCH PER FOOT FOR DRAINAGE, SWEAT OF DENSE FINISH, 5" THICK. PROVIDE 4" SAND FILL WITH VAPOR BARRIER UNDER SLAB. SEAL WITH APPROVED SEALER.
CONCRETE STOODS: 1/8" PITCH PER FOOT FOR DRAINAGE, SWEAT OF DENSE FINISH.
ALL STOODS SHALL BE STRUCTURAL WITH 8" THICK POURED CONCRETE FOUNDATION WALLS AS INDICATED ON FOUNDATION PLAN.
DRIVEWAYS, WALKS, PATIOS, AND OTHER CONCRETE SLABS SHALL BE A MINIMUM THICKNESS, SCORED OR NON-SLIP FINISH.
ALL CONCRETE SHALL BE REINFORCED AS REQUIRED. PROVIDE ADEQUATE CONTROL JOINT AND EXPANSION JOINTS TO LIMIT SURFACE CRACKING. SEAL ALL EXPANSION JOINTS WITH SELF LEVELING SEALER. DEFORMED REINFORCING BARS SHALL BE ASTM A615 GRADE 60 OR EQUAL. WIRE WELDED FABRIC SHALL BE W1.4X1.4-6X6XWF OR EQUAL.
- 6. STEEL:**
STEEL BEAMS AS SIZED ON DRAWINGS (CONTRACTOR TO VERIFY).
STEEL COLUMNS SHALL BE 3" ADJUSTABLE POSTS.

7. FRAMING:

INSTALL ROUGH CARPENTRY TO COMPLY WITH NATIONAL FOREST PRODUCTS ASSOCIATION AND AMERICAN PLYWOOD ASSOCIATION.
2X4'S SHALL BE STANDARD OR BETTER.
2X6'S AND LARGER SHALL BE HEM FIR #2 OR BETTER. SPAN CALCULATIONS ARE BASED ON HEM FIR #2. NO SUBSTITUTIONS ARE PERMITTED.
OVER ALL HABITABLE AREAS VERIFY 7 1/4" RAFTER HEIGHT ABOVE EXTERIOR WALL PLATE AND CEILING FLOORING TO ALLOW FOR 8 1/2" THICK BATT INSULATION AND ADEQUATE VENTILATION SPACE.
PRE-FAB ROOF TRUSSES ARE AT 24" O.C., SIZED AS REQUIRED. CONTACT LUMBER REPRESENTATIVE FOR SIZING.
FLOORS TO RECEIVE CARPET SHALL BE 3/4" TONGUE AND GROOVE OSB SHEATHING.
PROVIDE EXTRA WOOD BLOCKING AT BATHROOM ACCESSORIES LOCATIONS AND AT ALL BASEBOARD OUTLET AND JACK LOCATIONS AS REQUIRED.
HEADER JOISTS AS REQUIRED TO CENTER LIGHT FIXTURES, COORDINATE WITH ELECTRICIAN.
ASSUME 1/2" SHIMS, UNLESS OTHERWISE NOTED. DISTANCE FROM ALL DOOR/WINDOW JAMBS TO DRY-WALL CORNER AS SHOWN ON PLAN SHALL EQUAL CASING WIDTH, UNLESS OTHERWISE NOTED. SEE ROOM FINISH SCHEDULE FOR CASING SIZE TO DETERMINE ROUGH FRAMING REQUIRED HANGERS, CARRIAGE BOLTS, LAG BOLTS, AND OTHER ACCESSORIES SHALL BE GALVANIZED.
PROVIDE STRIPS/METAL REINFORCING AS REQ'D AT STUD/FRAMING LOCATIONS WITH NOTCHES/HOLES THAT EXCEED CODE SIZE LIMITATIONS.

8. EXTERIOR WALLS:

EXTERIOR WALLS SHALL BE VINYL SIDING OVER HOUSE WRAP MEMBRANE ON 1/2" EXTERIOR SHEATHING ON 2X4 STUDS AT 16" O.C.
FINISH INTERIOR WITH 1/2" GWB-PAINTED.

9. INSULATION:

FULL BATT INSULATION USED IN ALL EXTERIOR WALLS SHALL HAVE AN R-VALUE OF 16 OR BETTER.
ALL ATTIC SPACES SHALL BE INSULATED TO R-38 OR BETTER. PROVIDE INSULATION DAMS AS REQ'D AS REQUIRED TO MAINTAIN ADEQUATE VENTILATION AT PLATES.
FULL BATT INSULATION USED IN VAULTED CEILING LOCATIONS SHALL HAVE AN R-VALUE OF 38 OR BETTER + 3/4" VENTILATION SPACE BETWEEN BATT AND ROOF SHEATHING.
WALLS BETWEEN GARAGE AND RESIDENCE SHALL HAVE FULL BATT INSULATION.
BASEMENT FURRED WALLS SHALL HAVE 1 1/2" INSULATED SHEATHING BETWEEN FURRING STRIPS. INSULATE GARAGE WALLS AND CEILING AS PER RESIDENCE.

10. EXTERIOR SIDING:

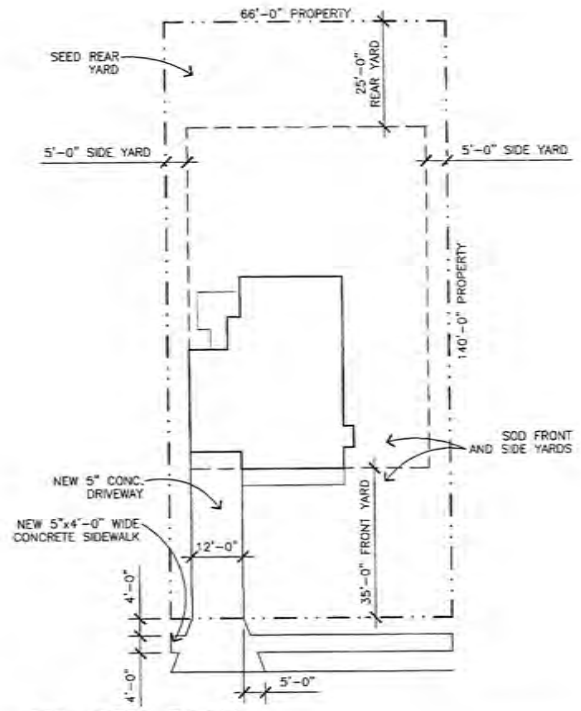
EXTERIOR SIDING SHALL BE DOUBLE 4" LAP VINYL SIDING AS MANUFACTURED BY GEORGIA PACIFIC OR ALCOA BUILDING PRODUCTS.
LAP SIDING TYPE SHALL MATCH "CASTLE RIDGE". PROVIDE DETAILS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: J-BLOCK, MINI J-BLOCK, J-VENT, DRIP CAPS, CORNER POSTS, WALL HYDRANT ACCESSORIES, EXTERIOR LIGHT ACCESSORIES, DOOR BELL ACCESSORIES, ETC.
INSTALL SIDING PER MANUFACTURER'S RECOMMENDATIONS. INSTALLATION SHALL BE OVER HOUSE WRAP ON 1/2" EXTERIOR SHEATHING.
COLOR TO BE SELECTED BY OWNER.
PROVIDE TRIPLE 4" CENTER VENT SOFFIT.
WINDOWS AND DOORS SHALL BE TRIMMED WITH 3" CONTRASTING VINYL TRIM.

11. BRICK:

INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS OF BRICK INSTITUTE OF AMERICA.
FACE BRICK SHALL BE SELECTED BY OWNER.
FILL ALL WALL CAVITIES AND VOIDS BELOW FLASHING AND WEEP HOLES SOLID WITH MORTAR/GROUT BEFORE INSTALLING FLASHING. PROVIDE FLASHING AS REQ'D AT BRICK LEDGE TO EXTEND WATERPROOFING UP THE WALL A MINIMUM OF 8" ABOVE FINISH GRADE.
PROVIDE WEEP HOLES AS REQUIRED.
PROVIDE STEEL REINFORCING DOWELS, PINS AND BRICK WALL TIES AS REQUIRED. FASTEN WALL TIES DIRECTLY TO STUDS, NOT SHEATHING.
MORTAR: ONE PART PORTLAND CEMENT BY VOLUME, 1/2 PART HYDRATED LIM, 3 3/4 PARTS DAMP LOOSE SAND PLUS WATER RATED AT 2500 PSI IN 28 DAYS.

12. ROOFING SHINGLES:

PROVIDE FIBERGLASS FELT BASE, MINERAL GRANULE SURFACED, TYPE I, 222 LB./SQ. YD., SELF SEALING TYPE, SQUARE TAB, CONFORMING TO UL CLASS "A" FIRE AND WIND RESISTANCE LABELS. OWENS-CORNING FIBERGLASS OR APPROVED EQUAL.
PROVIDE 15# FELT UNDERLAYMENT.
FASTEN WITH ZINC-COATED STEEL NAILS, 13/64" HEAD DIAMETER AND 0.080" SHANK DIAMETER.



1 SITE PLAN
SCALE 1" = 20'-0"

13. WINDOWS:

WINDOWS SHALL BE THERMALLY BROKEN ALUMINUM WINDOWS, WHITE, AS MANUFACTURED BY CAPITOL AND DISTRIBUTED BY AAA BUILDING COMPONENTS. UNIT SIZES ARE SPECIFIED ON THE DRAWINGS.

14. DOORS:**INTERIOR DOORS:**

PROVIDE 1 3/8" THICK, HOLLOW CORE CONSTRUCTION, PREFINISHED LAVAN OR BIRCH, PRE ASSEMBLED AND PRE-HUNG TO PREFINISHED WOOD FRAMES AND TRIM.

EXTERIOR/ENTRY DOORS SHALL BE 1 3/4" THICK STEEL FACED DOORS, COMPLETE WITH WEATHER STRIPPING AND THRESHOLDS APPROVED FOR HANDICAP ACCESSIBILITY. GLAZING SHALL BE MANUFACTURER'S STANDARD SAFETY GLASS, MEETING ALL U.S.C. REQUIREMENTS. ACCEPTABLE MANUFACTURER'S SHALL BE THREMA TRU METAL INSULATED DOORS AND STANLEY METAL INSULATED DOORS. GARAGE DOORS SHALL BE RAISED PANEL, GALVANIZED STEEL PANELS WITH BAKED-ON POLYESTER PAINT. EXTERIOR AND INTERIOR STEEL SHALL BE 24 GAUGE. FILL VOID WITH EXPANDED POLYSTYRENE INSULATION. PROVIDE GERKIN OR FALCON STORM DOORS AT ALL EXTERIOR DOORS. DOORS SHALL BE FULL LITE DOORS WITH VENTILATION STRIP AT BOTTOM.

15. DOOR HARDWARE:

LOCKS AND LATCHES SHALL BE THE PRODUCT OF ONE MANUFACTURER, HAVE 2 3/8" OR 2 3/4" BACKSET AND A 3/4" MINIMUM BOLT THROW. EXTERIOR DOORS SHALL HAVE SERIES 1000, GRADE 2 LOCK AND LATCHSET FOR EXTERIOR DOORS, WITH LEVER HANDLE.

INTERIOR DOORS SHALL BE SERIES 4000, GRADE 1 AND 2, WITH LEVER HANDLES. FINISH SHALL BE POLISHED BRASS.

BEDROOMS AND BATHROOMS SHALL HAVE PRIVACY FUNCTION, ALL OTHERS SHALL BE PASSAGE SETS.

16. GYPSUM WALLBOARD (GWB):

1/2" GWB BY UNITED STATES GYPSUM OR EQUAL WITH EDGES TAPERED FOR TAPING. INSTALL METAL OUTSIDE CORNERS. ALL SEAMS, JOINTS, AND INSIDE CORNERS ARE TAPED. TWO COATS OF USG COMPOUND IS TOOLED SO THAT WALLS ARE SMOOTH.

AT ALL SHOWERS AND TUBS, PROVIDE 1/2" WATER RESISTANT GYPSUM BOARD AT GARAGE WALLS PROVIDE WATERPROOF GWB (GREENBOARD) MINIMUM 24" A.F.F.

17. FINISH CARPENTRY:

INTERIOR BASE TRIM SHALL BE HERITAGE STYLE, 1/2"x3" #6344.

INTERIOR CASING SHALL BE HERITAGE STYLE, 1 1/8"x2 1/4" #366.

ALL INTERIOR BASE, WINDOW, DOOR, AND STAIR SKIRT TRIM SHALL BE FINGER JOINTED, AND PRE-FINISHED TO MATCH THE INTERIOR DOORS.

18. ARCHITECTURAL WOODWORK:

CABINET CONSTRUCTION SHALL BE OF SOLID OAK FRAMES WITH PARTICLE BOARD TOPS AND BOTTOMS. DOORS AND DRAWER FRONTS SHALL BE SOLID OAK OR OAK PLYWOOD PANELS. COUNTERTOPS SHALL BE POST FORMED PLASTIC LAMINATE, COVERED TO BACKSPASH, BULLNOSE FRONT WITH DRIP EDGE. ACCEPTABLE MANUFACTURERS SHALL BE TRIANGLE PACIFIC CORPORATION "DAKCREST", MID-CONTINENT CABINERY "SEVILLE".

COLOR TO BE SELECTED BY OWNER. ALL CABINETS SHALL CARRY THE NKCA (NATIONAL KITCHEN CABINET ASSOCIATION) LABEL.

19. CLOSET DOORS:

PROVIDE WOOD ROOS - 1 1/4" MINIMUM #233 WHITE PINE. DO NOT PAINT. CLOSET SHELF AND ROD SUPPORTS SHALL BE BY KNAPE & VOGT, #1195, OR STANLEY, #7046.

20. APPLIANCES:

PROVIDED AND INSTALLED BY CONTRACTOR. RANGE: GEJBP46GV - WHITE ON WHITE REFRIGERATOR: GETBK16S1Y - WHITE DISHWASHER: GC00S69XW - WHITE ON WHITE MICROWAVE/HOOD: GEJAM1330W - WHITE ON WHITE DISPOSAL: INSINKERATOR BADGER V, 1/2 HP.

21. BATHROOM ACCESSORIES:

PROVIDED BY OWNER AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL COORDINATE LOCATIONS WITH OWNER TO PROVIDE WOOD BLOCKING AS REQUIRED PRIOR TO DRYWALL INSTALLATION. CONTRACTOR SHALL PROVIDE AND INSTALL SHOWER ROD.

22. MIRRORS:

1/4" QUALITY CLEAR FLOAT GLASS.

23. DECKS:

DECKING AND RAILINGS SHALL BE CONSTRUCTION GRADE CEDAR. LAY 2"x4" DECKING WITH GAP PER INDUSTRY STANDARD. SECURE DECKING TO FRAMING WITH CORROSION RESISTANT FASTERS.

24. PAINTING:

SHIP ALL MATERIALS TO JOBSITE AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE APPLICATION OF ANY PAINT FOR INSPECTION BY OWNER OR ARCHITECT. ALL MATERIAL MUST BE STORED IN AN ORDERLY FASHION, WITH THE LABELS OR CARTON IDENTIFICATION PLACED SO THEY CAN READILY BE SEEN FOR REVIEW AT ALL TIMES.

PROVIDE OWNER WITH ONE (1) UN-OPENED GALLON OF EACH PRODUCT IN EACH COLOR, WITH A LABEL ATTACHED THAT CLEARLY IDENTIFIES WHERE EACH COLOR WAS USED.

HAZARDOUS DUE TO OPEN FLAME OR HIGH HEAT. REMOVE ALL SOLVENTS, RAGS, AND WASTE FROM PREMISES EVERY NIGHT AND TAKE PRECAUTIONS TO AVOID THE DANGER OF FIRE.

ALL MATERIALS MUST BE APPLIED TO PROVIDE TOTAL COLOR AND SHEEN UNIFORMITY REGARDLESS OF THE NUMBER OF COATS THAT IS REQUIRED.

ALL PAINT PRODUCTS LISTED IN THE FOLLOWING SCHEDULE ARE SUPPLIED BY THE DIAMOND VOGEL PAINT COMPANY. SUBSTITUTIONS WILL NOT BE PERMITTED.

IF CONTRACTOR IS UNFAMILIAR WITH ANY SURFACE CONDITION, IMMEDIATELY CONSULT WITH SUPPLIER FOR TECHNICAL ASSISTANCE.

EXTERIOR PAINT SCHEDULE:**WOOD-PAINTED:**

ONE COAT DIAMOND VOGEL AU-1404 PRIMER FINISH WITH DIAMOND VOGEL PERMACRYL LATEX HOUSE PAINT SATIN.

WOOD-TRANSPARENT STAIN:

TWO COATS OLD MASTERS SEMI-TRANSPARENT GRAIN STAIN, APPLIED "WET ON WET".

CONCRETE OR CMU:

ONE COAT DIAMOND VOGEL BF-1501 BLOCK FILLER FINISH WITH DIAMOND VOGEL PERMACRYL LATEX HOUSE PAINT SATIN.

FERRUGINOUS METAL:

TOUCH UP ALL BARE METAL WITH DIAMOND VOGEL AZ-5400 RED OXIDE PRIMER, VOC COMPLIANT. FINISH WITH DIAMOND VOGEL COTE-ALL ENAMEL, VOC COMPLIANT.

ALUMINUM/GALVANIZED:

SCRUB WITH "0" GRIT STEEL WOOL AND TOLUOL ONE COAT DIAMOND VOGEL V-COTE 200 ACRYLIC PRIMER.

FINISH WITH DIAMOND VOGEL PERMACRYL LATEX HOUSE PAINT SATIN.

INTERIOR PAINT SCHEDULE:**WOOD-PAINTED:**

ONE COAT DIAMOND VOGEL CU-1401 ALKYD ENAMEL UNDERCOAT. FINISH WITH DIAMOND VOGEL CS SERIES SATINAMEL.

WOOD-TRANSPARENT FINISH:

ONE COAT OLD MASTERS FINISHING STAIN. FINISH WITH GEMINI PRE-CATALYZED LACQUER SATIN, GEM LAC #510-0012, NOT TO EXCEED 3 MILS DRY.

CONCRETE BLOCK-EGGSHELL FINISH: ONE COAT DIAMOND VOGEL BLOCK FILLER, BF-1515.

FINISH WITH DIAMOND VOGEL PRO PLUS EGGSHELL DRYWALL-EGGSHELL FINISH: ONE COAT DIAMOND VOGEL DU-1514 PVA PRIMER.

FINISH WITH DIAMOND VOGEL PRO PLUS EGGSHELL DRYWALL CEILING:

FINISH WITH DIAMOND VOGEL DIA PRO INTERIOR LATEX FLAT. DRYWALL SURFACES UNDER VINYL WALL COVERING: ONE COAT ZINSSER SHELDT WHITE PRIMER.

25. TRUSSES:

ROOF FRAMING SHALL CONSIST OF PLATE CONNECTED WOOD TRUSSES, DESIGNED AND ENGINEERED IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION AND THE TRUSS PLATE INSTITUTE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES. SEE DRAWING FOR ROOF AND CEILING CONFIGURATION.

DESIGN TRUSSES FOR THE FOLLOWING LOADS:

10 PSF TOP CHORD DL

30 PSF TOP CHORD LL

10 PSF BOTTOM CHORD DL

MAXIMUM LIVE LOAD DEFLECTION L/360

ROOF TRUSSES SHALL BE ANCHORED TO THE TOP PLATE WITH ONE SIMPSON H1 HANGER PER EACH END OF EACH TRUSS.

ELECTRICAL**1. GENERAL:**

ELECTRICIAN SHALL BE RESPONSIBLE FOR ALL ELECTRICAL CONNECTIONS AND SHALL DO ALL WORK IN THE BEST WORKMAN LIKE MANNER AND IN ACCORDANCE WITH APPLICABLE CODES.

ELECTRICIAN SHALL INCLUDE ALL FEES FOR CONNECTIONS AND INSPECTIONS BY THE CITY AND OMAHA PUBLIC POWER DISTRICT (OPPD). ALL CHANGES RESULTING IN AN INCREASE IN COST DURING CONSTRUCTION MUST BE SUBMITTED TO THE OWNER IN WRITING AND APPROVED BY THE OWNER BEFORE SUCH WORK SHALL COMMENCE.

ELECTRICIAN SHALL LABEL ALL NEW CIRCUITS AT PANELS.

2. WIRING:

NONMETALLIC CABLE CONDUIT USED WHERE EXPOSED WIRING IS NECESSARY. 110V AND 220V PROVIDED FOR WASHER AND DRYER AND 220V PROVIDED FOR Ovens.

3. WIRING DEVICES:

ALL PLATES DUPLEX RECEPTACLES AND SWITCHES SHALL BE LEVITON TOGGLE STYLE OR EQUAL. PROVIDE SAME SERIES FOR TELEPHONE JACKS AND CABLE JACKS. REUSE DIMMERS. DIMMERS SHALL BE LUTRON DIVA-DIMMER SERIES OR EQUAL. FLOOR OUTLETS SHALL HAVE BRASS COVERS.

ALL SWITCHES AND DIMMERS SHALL BE INSTALLED AT 48" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. ALL DUPLEX RECEPTACLES SHALL BE INSTALLED AT 16" ABOVE FINISHED FLOOR.

4. INSTALLATION OF WIRING DEVICES AND LIGHT FIXTURES:

ELECTRICIAN SHALL VERIFY OUTLET LOCATIONS ARE ADEQUATE TO MEET CODE REQUIREMENTS. IF NOT, CONTRACTOR SHALL BE REQUIRED TO INSTALL ANY ADDITIONAL OUTLET LOCATIONS AS REQUIRED BY LOCAL ELECTRICAL CODES.

DANG. ALL SWITCHES AND DUPLEX OUTLETS WHERE PRACTICABLE LOCATE THERMOSTATS AND SWITCHES AS CLOSE TO A DOOR JAMB OR THE END OF THE WALL AS POSSIBLE AND ALIGN THEM VERTICALLY.

WHERE SIX SWITCHES SHOWN STACK 3 OVER 3. LIGHT FIXTURES SHALL BE CENTERED IN ROOM OR ON WALL - HEADER JOISTS AS REQUIRED TO CENTER AND ALIGN THEM. COORDINATE WITH FRAMER.

ALL HEIGHT DESIGNATIONS ON ELECTRICAL PLANS SHALL BE TO CENTERLINE OF BOX. VERIFY POWER LOCATION REQUIREMENTS FOR APPLIANCES WITH SUPPLIER.

5. POWER REQUIREMENTS:

PROVIDE POWER REQUIRED FOR TELEPHONE AND SECURITY SYSTEMS WITH OWNER'S INSTALLERS. PROVIDE & COORDINATE LOCATIONS AS REQUIRED.

6. PROVIDE ELECTRICAL CONNECTIONS FOR:

MECHANICAL EQUIPMENT, APPLIANCES, EXHAUST FANS, GARAGE DOOR OPENERS, POWERED DOOR OPENERS, WHIRLPOOL, STEAM GENERATOR, IRONING BOARD CABINETS, AND GAS LOG SETS. (VERIFY LOCATION OF CONTROLS WITH OWNER).

7. GARAGE DOOR OPENER WIRING:

ELECTRICIAN TO PRE-WIRE (CONCEAL) FOR GARAGE DOOR BUTTON AND THRESHOLD SENSORS. AT BUTTON LOCATION INSTALL SINGLE GANG BOX WITH BLANK COVER. DRILL HOLE(S) IN COVER AND INSTALL NUTONE PB18LWXL BUTTON(S). ALIGN BUTTONS VERTICALLY. NOTE GARAGE DOOR OPENER OUTLETS ARE TO BE SWITCHED CIRCUIT AS INDICATED ON ELEC. PLAN. MOUNT AT 36".

8. ELECTRICAL FIXTURE SCHEDULE:

ELECTRICAL FIXTURES SHALL BE SELECTED BY OWNER. PROVIDE \$500.00 ALLOWANCE FOR FIXTURES, NOT INCLUDING INSTALLATION.

9. TELEPHONE/CABLE/DATA:

PROVIDE ONE TELEPHONE JACK IN THE GREAT ROOM, KITCHEN AND IN EACH BEDROOM. COORDINATE LOCATION WITH OWNER.

PROVIDE ONE CABLE JACK IN GREAT ROOM AND ONE IN EACH BEDROOM. COORDINATE LOCATION WITH OWNER. PRE-WIRE AND CABLE BACK TO AN EXTERIOR JUNCTION BOX, ALLOWING COX CABLE TO MAKE ONE CONNECTION PER UNIT.

PROVIDE AND WIRE FOR A LOCAL DATA NETWORK. EACH BEDROOM SHALL HAVE ONE DATA JACK, COORDINATE LOCATION WITH OWNER. CABLING SHALL BE CATEGORY 5.

10. SECURITY:

PROVIDE AND INSTALL A SECURITY SYSTEM CONSISTING OF CONTACT SENSORS AT ENTRY DOORS AND GLASS BREAK SENSORS AT WINDOWS. SYSTEM SHALL BE LOCALLY MONITORED AND SET FROM A CENTRAL CONTROL/COMMUNICATIONS PANEL. SYSTEM MUST BE CAPABLE OF REMOTE MONITORING, BUT MONITORING SERVICE IS NOT INCLUDED IN THE INSTALLATION, AND MAY BE PURCHASED BY HOME OWNER.

LOCATION OF CONTROL STATION IS TO BE DETERMINED BY OWNER.

PLUMBING**1. GENERAL:**

PLUMBER SHALL BE RESPONSIBLE FOR ALL PLUMBING WORK NECESSARY TO COMPLETE THE INSTALLATION AND SHALL DO WORK IN ACCORDANCE WITH THE BEST PRACTICE OF THE INDUSTRY AND ACCORDING TO CODE REQUIREMENTS.

PLUMBER SHALL INCLUDE ALL FEES FOR INSPECTIONS AND CONNECTIONS BY THE CITY AND METROPOLITAN UTILITIES DISTRICT (MUD).

PLUMBER SHALL MAKE NECESSARY CONNECTIONS TO MUD WATER LINES, MUD GAS LINES, AND CITY SANITARY SEWER. PLUMBER SHALL MAKE ALL NECESSARY ARRANGEMENTS WITH THE CITY AND THE UTILITY TO SATISFY THE REQUIREMENTS OF THE DWELLING.

PROVIDE METERS FOR GAS & WATER. INCLUDE ALL METER FEES IN BASE BID.

2. SANITARY SYSTEM:

DESIGN OF THE RESIDENCE IS BASED ON THE ASSUMPTION THAT THE BASEMENT FLOOR ELEVATION WILL PERMIT NORMAL SEWAGE FLOW TO EXISTING SANITARY SEWER.

3. SPECIAL PIPING REQUIREMENTS:

VENTS. NO PLUMBING VENT PIPE SHALL BE LOCATED ON THE FRONT ELEVATION. VENTS SHALL EXCEED 12" ABOVE ROOF.

4. WATER CLOSET SUPPLY

PLUMBER TO VERIFY HEIGHT OF BASEBOARD. SET HEIGHT OF EXPOSED SUPPLY FOR WATER CLOSETS ABOVE BASEBOARD. DO NOT USE FLOOR SUPPLIES.

5. HOT WATER HEATER:

PROVIDE AND INSTALL AE ENERGY EFFICIENT 40 GALLON GAS, 8 YEAR WARRANTY MINIMUM, HOT WATER HEATERS.

6. GRAY BOX:

GUY GRAY RECESSED WASHING MACHINE SUPPLY AND DRAIN BOX. #WB-200 OR EQUAL WITH STANDPIPE AND HOSE BIBBS FOR WASHER. NOTE WASHER IS ELEVATED.

7. FLOOR DRAINS:

PROVIDE IN BASEMENT FOR MECHANICAL EQUIPMENT.

8. EXTERIOR HOSE BIBBS:

FROST PROOF FAUCETS.

9. PLUMBING FITTURED & FITTINGS SCHEDULE

PLUMBING FIXTURES TO BE SELECTED BY OWNER.

MECHANICAL**1. GENERAL:**

ALL MECHANICAL EQUIPMENT, DUCT AND FINISHING WORK SHALL BE DONE IN ACCORDANCE WITH THE BEST STANDARDS OF THE INDUSTRY AND IN ACCORDANCE WITH APPLICABLE CODES.

MECHANICAL CONTRACTOR SHALL INCLUDE ALL FEES FOR INSPECTIONS AND CONNECTIONS BY THE CITY AND METROPOLITAN UTILITIES DISTRICT (MUD).

ALL CHANGES RESULTING IN AN INCREASE IN COST DURING CONSTRUCTION MUST BE SUBMITTED TO THE OWNER IN WRITING AND APPROVED BY THE OWNER BEFORE SUCH WORK SHALL COMMENCE.

2. HVAC:

PROVIDE AND INSTALL AE NATURAL GAS FORCED AIR UNITS WITH BOX OR BETTER EFFICIENCY. PROVIDE THREE ELECTRIC AIR CONDITIONING UNITS WITH S.E.E.R. RATING OF 10 OR BETTER.

UNITS SHALL HAVE APRIL AIRE POWER HUMIDIFIERS, HONEYWELL T8601C1047 ELECTRONIC DUAL SETBACK THERMOSTATS (WHITE) AT +36" APP FOR ADA VISIBILITY.

LOCATIONS AND RUNS OF A.C. PIPING SHALL BE COORDINATED FOR EFFICIENCY AND MOST INCONSPICUOUS LOCATIONS.

PROVIDE FLUE AND FLOOR DRAIN FOR EACH FURNACE UNIT AS REQUIRED.

COORDINATE POWER REQUIREMENTS WITH ELECTRICIAN ON LOCATION OF EQUIPMENT IN RELATION TO POWER PANEL AND PROVIDE SERVICE REQUIREMENTS TO SIZE PANEL.

3. DUCTWORK:

PROVIDE ADEQUATE SUPPLY TO ALL AREAS. DUCTWORK REQUIRING FURRING OR CHASE SPACE NOT SHOWN ON DRAWINGS SHALL BE COORDINATED WITH THE FRAMER.

4. DUCTS AND CAPS:

FOR DRYER VENT. FOR BATHROOM EXHAUSTS AS REQUIRED. FOR HOT WATER HEATER AND FURNACE FLUES AS REQUIRED.